

ENTRY 101

1. REMOVE EXISTING CERAMIC TILE FLOOR.
2. REMOVE HALF WALL BETWEEN ENTRY AND RECEPTION.
3. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE.
4. FURNISH AND INSTALL NEW STOREFRONT WITH GLASS DOOR AND SIDELIGHTS BETWEEN ENTRY AND SERVICE ROOM 117.

RECEPTION 102

1. REMOVE EXISTING CERAMIC TILE FLOOR.
2. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE.
3. FURNISH AND INSTALL NEW STOREFRONT WITH GLASS DOOR AND SIDELIGHTS BETWEEN RECEPTION AND DESIGN AREA 109.

CLOSET 104

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

BREAK ROOM 105

1. REMOVE EXIST. COUNTERTOP AND WALL BETWEEN BREAK ROOM AND CORRIDOR 106
2. INSTALL PARTITION BETWEEN BREAK ROOM AND SERVICE AREA 117.
3. REMOVE EXISTING CERAMIC TILE FLOOR
4. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE
5. ALL CABINETS AND COUNTERTOPS TO REMAIN.
6. INSTALL ONE NEW 110V DUPLEX OUTLET IN NEW PARTITION.

CORRIDOR 106

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

WOMEN'S REST ROOM 107

1. EXISTING CERAMIC TILE TO REMAIN
2. INSTALL GRAB BARS AT TOILET PER ACCESSIBILITY STANDARDS.

MEN'S REST ROOM 108

1. EXISTING CERAMIC TILE TO REMAIN
2. INSTALL GRAB BARS AT TOILET PER ACCESSIBILITY STANDARDS.

DESIGN 109

1. REMOVE EXISTING PARTITION ON SOUTH EXTERIOR WALL.
2. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

CORRIDOR 110

1. NEW CORRIDOR PARTITIONS TO ACCOMMODATE NEW ACCESSIBILITY LIFT.
2. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE
3. INSTALL NEW VESTIBULE FOR ACCESS TO SHOWROOM W/ PARTITIONS AND STOREFRONT DOORS AND SIDELIGHTS.

ELECTRICAL CLOSET

1. NEW PARTITIONS TO ENCLOSE EXISTING ELECTRICAL W/ DBL. ACCESS. DOORS.

CONFERENCE 112

1. INSTALL NEW PARTITION BETWEEN ROOMS 112 AND 114.
2. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE
3. FUR OUT EXISTING WEST WALL.
4. INSTALL NEW HVAC.
5. FURNISH AND INSTALL 4' X 4' WINDOW IN PARTITION COMMON TO SHOWROOM.
6. REMOVE EXISTING SINK AND CABINETS. CAP ALL PLUMBING.

TOILET 113

1. INSTAL INSULATION BETWEEN REST ROOM AND CONFERENCE ROOM 112.
2. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

CONFERENCE 114

1. REMOVE SMALL STOREROOM
2. INSTALL NEW DOOR AND FRAME TO NEW SHOWROOM.
3. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE
4. FUR OUT WEST PARTITION.
5. INSTALL NEW HVAC.
6. FURNISH AND INSTALL (2) 4' X 4' WINDOWS IN PARTITION COMMON TO SHOWROOM.
7. PROVIDE INSULATION IN PARTITION SEPARATING ROOM 112 AND CONFERENCE ROOM 114

SHOWROOM 115

1. INSTALL NEW FIRE RATED PARTITIONS TO UNDERSIDE OF DECK.
2. INSTALL BLACK PENWELD INSULATION AT DECK.
3. PAINT SHOWROOM SIDE OF PARTITION AT APPROXIMATELY 15'-0" A.F.F.
4. REMOVE EXISTING CERAMIC TILE FLOOR
5. REMOVE EXISTING RESTROOM CAP ALL UTILITIES.
6. REMOVE EXISTING 10' X 20' ROOM.
7. EXTEND ENTIRE NORTH PARTITION TO UNDERSIDE OF DECK. PAINT TO MATCH REFERENCE NOTE 3.
8. INSTALL NEW HVAC.
9. EXTEND EXISTING PERIMETER PARTITIONS OF THE CONFERENCE AND TOILET TO UNDERSIDE OF DECK.
10. SEPARATION PARTITION BETWEEN SHOWROOM 115 AND WAREHOUSE TO BE INSULATED.
11. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE
12. FURNISH AND INSTALL (1) 4' X 4' WINDOWS IN PARTITION COMMON TO WAREHOUSE.
13. FURNISH AND INSTALL DBL DOORS IN SOUTH PARTITION COMMON TO WAREHOUSE.

STAIR #2 116

1. PAINT EXISTING STAIR

SERVICE 117

1. REMOVE EXISTING WINDOWS TO SHOWROOM.
2. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

SERVICE 118

1. RELOCATE DOOR AS INDICATED ON PLAN.
2. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

SERVICE 119

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

SERVICE 120

1. RELOCATE DOOR AS INDICATED ON PLAN AND INSTALL STOREFRONT AS INDICATED W/ GLASS DOOR AND SIDELIGHTS.
2. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

SERVICE 121

1. PROVIDE 10' X 20' ROOM FOR MEDIA STORAGE W/ 4X7' DOOR W/ LOCK SET HARDWARE.
2. INSTALL NEW HVAC.

SECOND FLOOR FOYER 201

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE.
2. REMOVE EXISTING WINDOW INFILL TO MATCH EXISTING PARTITION TAPE BED AND PAINT TO MATCH EXISTING.
3. REMOVE EXCESSIVE PARTITION REF. PLAN.

EXECUTIVE SUITE FOYER 202

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

FAXY / COPY 203

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE
2. INSTALL NEW PARTITION ON EAST SIDE OF ROOM REF. PLAN.
3. REMOVE EXCESSIVE PARTITION REF. PLAN.

ADMINISTRATION 204

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

EXECUTIVE 205

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE
2. INSTALL NEW PARTITION BETWEEN ADMIN. 204 - REF. PLAN.

EXECUTIVE 206

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

SALES 207

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

SALES 208

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

SALES 209

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

TELEPHONE 210

1. PROVIDE BUILDING STANDARD VCT FLOORING WITH RUBBER BASE
2. EXISTING CLOSET TO REMAIN.

SALES 211

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

SALES 212

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

BREAK ROOM CORRIDOR 214

1. PROVIDE NEW BUILDING STANDARD CARPET AND RUBBER BASE

WOMEN'S TOILET 215

1. RELOCATE EXIST. TOILET PER PLAN.
2. REMOVE EXISTING CERAMIC TILE.
3. INSTALL NEW CERAMIC TILE AND CERAMIC BASE.
4. REMOVE EXISTING PARTITION AS INDICATED ON PLAN.
5. REMOVE EXISTING CABINETS.
6. PROVIDE NEW LAVATORY AND BASE CABINETS TO MEET ACCESSIBILITY STANDARDS.

MEN'S TOILET 216

1. RELOCATE EXIST. TOILET PER PLAN.
2. RELOCATE EXISTING DOOR AS PER PLAN.
3. PATCH EXIST. CERAMIC TILE UNDER NEW DOOR AND UNDER COUNTER. (SAVE TILE FROM WOMEN'S ROOM DEMOLITION TO PATCH TILE)
4. REMOVE EXISTING CABINETS.
5. PROVIDE NEW LAVATORY AND BASE CABINETS TO MEET ACCESSIBILITY STANDARDS.
6. REMOVE EXISTING TOILET PARTITIONS AS INDICATED ON PLAN.
7. RELOCATE EXISTING URINAL TO MEET ACCESSIBILITY STANDARDS.

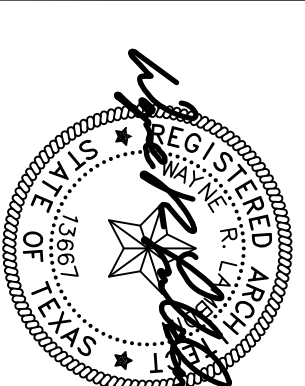
GENERAL NOTES:

1. ALL NEW PARTITIONS OR INFILLED PARTITIONS TO BE PREPARED TO RECEIVE NEW PAINT TO MATCH EXISTING PAINT COLOR.
2. ALL WINDOWS TO BE CLEANED BOTH INTERIOR AND EXTERIOR SIDES.
3. HVAC SYSTEM TO BE TESTED AND BALANCED. PROVIDE LANDLORD WITH TEST AND BALANCE REPORT.
4. REPLACE ALL DAMAGED CEILING TILE. PATCH AND REPAIR CEILING GRID AS REQUIRED.
5. WATER TEST EXTERIOR WINDOWS. REPLACE ALL WINDOW SEALS AS REQUIRED TO OBTAIN A WATER TIGHT CONDITION.
6. EXISTING LEVELOR MINI BLINDS TO REMAIN VERIFY CONDITION VERIFY W/ LANDLORD ANY BROKEN OR UNREPAIRABLE BLINDS.
7. VERIFY ALL MECHANICAL SYSTEMS AND PLUMBING FIXTURES ARE IN WORKING CONDITION - REPAIR AS NECESSARY.
8. VERIFY ALL DOOR HARDWARE IS IN WORKING ORDER - REPAIR AS AS NECESSARY. ALL TOILET ROOMS TO RECEIVE LOCKSET HARDWARE.
9. PATCH AND REPAIR ALL PARKING LOT SPAWLING IN PAVING ASSOCIATE WITH THE COMMON AREAS OF SKYLINE DFW EXHIBIT SPACE.
10. VERIFY CONDITION OF EXISTING FRONT ENTRY LANDSCAPE AND MONUMENT SIGN. LANDLORD TO VERIFY NECESSARY IMPROVEMENTS
11. PROVIDE FINAL CLEAN BEFORE TENANT MOVE IN.
12. PROVIDE MACHINE SCRUB IN WAREHOUSE AS PART OF FINAL CLEAN.
13. DISMANTLE EXISTING SECURITY FENCE IN WAREHOUSE AREA STORE IN WAREHOUSE FOR TENANT USE.
14. VERIFY ALL ELECTRICAL IS IN GOOD WORKING ORDER- REPAIR AS REQUIRED.
15. SERVICE ALL DOCK DOORS AND LEVELERS RETURN TO WORKING ORDER IF NECESSARY - REPLACE ANY DAMAGED OR BROKEN DOOR PANELS INCLUDING ANY BROKEN LUMBER - PAINT TO MATCH EXISTING BUILDING STANDARD.
16. FIELD INSPECT ALL STRUCTURAL COLUMNS REPORT ANY DAMAGE TO LANDLORD - REPAIR TO STRUCTURAL SOUND CONDITION.
17. PATCH AND REPAIR ANY DAMAGED GYP. BD. - PAINT AS REQUIRED.
18. PROVIDE KEYS FOR ALL LOCKSETS INCLUDING ALL EXTERIOR AND INTERIOR DOORS ASSOCIATED WITH THIS LEASE SPACE.

REVISIONS

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