

DEMOLITION GENERAL NOTES

1. DEMOLISH WALLS, DOOR FRAMES, MILLWORK AND SOFFITS AS INDICATED ON PLAN. REMOVE EXISTING WALL COVERING, FLOORING AND BASE AS WELL AS WALL FASTENERS, REVEALS, NALS, ETC. AT AREAS TO RECEIVE NEW FINISHES AS SPECIFIED ON FINISH PLAN.
2. UNLESS NOTED OTHERWISE IN THESE DOCUMENTS, CONTRACTOR SHALL REMOVE ABANDONED DATA/ COMMUNICATIONS CABLING BACK TO PHONE BOARD.
3. CONTRACTOR TO FIELD VERIFY THE EXACT QUANTITY, SIZE AND LOCATIONS OF ALL WORK TO BE DEMOLISHED. DEMOLITION DRAWINGS ARE INTENDED TO SHOW LIMITS AND EXTENT OF DEMOLITION WORK ONLY.
4. NO DEMOLITION IS TO TAKE PLACE TO ANY BASE BUILDING WALLS, PLUMBING, MECHANICAL OR ELECTRICAL SYSTEMS UNLESS SPECIFICALLY CALLED OUT ON THE DRAWINGS.
5. COLUMN FURRINGS ARE NOT TO BE DEMOLISHED UNLESS NOTED SPECIFICALLY ON THE PLANS. ALL DEMOLITION TO WALLS COMMON WITH COLUMN FURRING SHOULD BE REMOVED DOWN TO THE LIMITS OF THE COLUMN WRAP. PROVIDE MATCHING CONSTRUCTION TO CLOSE ANY OPENINGS IN THE EXISTING COLUMN FURRING CAUSED BY DEMOLITION.
6. NO DEMOLITION IS TO TAKE PLACE OUTSIDE THE LIMITS OF THESE DRAWINGS UNLESS SPECIFICALLY CALLED OUT.
7. THE CONTRACTOR SHALL FURNISH ALL SHORING, BRACING, AND PATCHING NECESSARY AND REQUIRED FOR THE PROPER SUPPORT AND SAFETY OF ALL WALLS, FLOORS, CEILINGS AND UTILITIES AFFECTED BY DEMOLITION INCLUDED IN THIS SCOPE OF WORK.
8. SALVAGE DOORS AND FRAMES FOR RE-USE AS INDICATED ON DOOR SCHEDULE. VERIFY DISPOSITION OF BALANCE OF DOORS/FRAMES WITH LANDLORD. REFER TO PROJECT DEMOLITION NOTES FOR ADDITIONAL SALVAGE ITEMS.
9. REMOVE ALL EXISTING EQUIPMENT, PLUMBING, CEILINGS, WATER HEATERS, LIGHTING, ETC.

PROJECT NOTES

- P-1 REPAIR/ REPLACE DAMAGED INSULATION AND VAPOR RETARDER TO DECK ABOVE AS REQUIRED TO ACHIEVE LIKE NEW THERMAL CONDITION AT EXTERIOR WALLS. ALL CONDITIONS TO BE REVIEWED BY ARCHITECT PRIOR TO EXISTING CONDITIONS BEING CONCEALED.
- P-2 THE FOLLOWING ITEMS MAY BE SALVAGED & RE-INSTALLED:
 - A. DOORS, DOOR FRAMES, HARDWARE
 - B. INTERIOR WINDOWS
 - E. A/C SUPPLY & RETURN GRILLES
- P-3 ANY SALVAGED ITEM THAT IS RE-INSTALLED MUST BE RESTORED TO LIKE NEW CONDITION.
- P-4 REMOVE EXISTING LIGHT FIXTURES IN ALL SPACES EXCEPT RECEIVING #125

FIRST INDUSTRIAL REALTY - TRUST

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REVISIONS	
NO.	DESCRIPTION

10/20/08

ALH
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3911 CLEAR COVE
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 (972) 620-8003

EABPRJ 9803975

2220 MERRITT DRIVE - SUITE 200
 GARLAND, TEXAS 75041

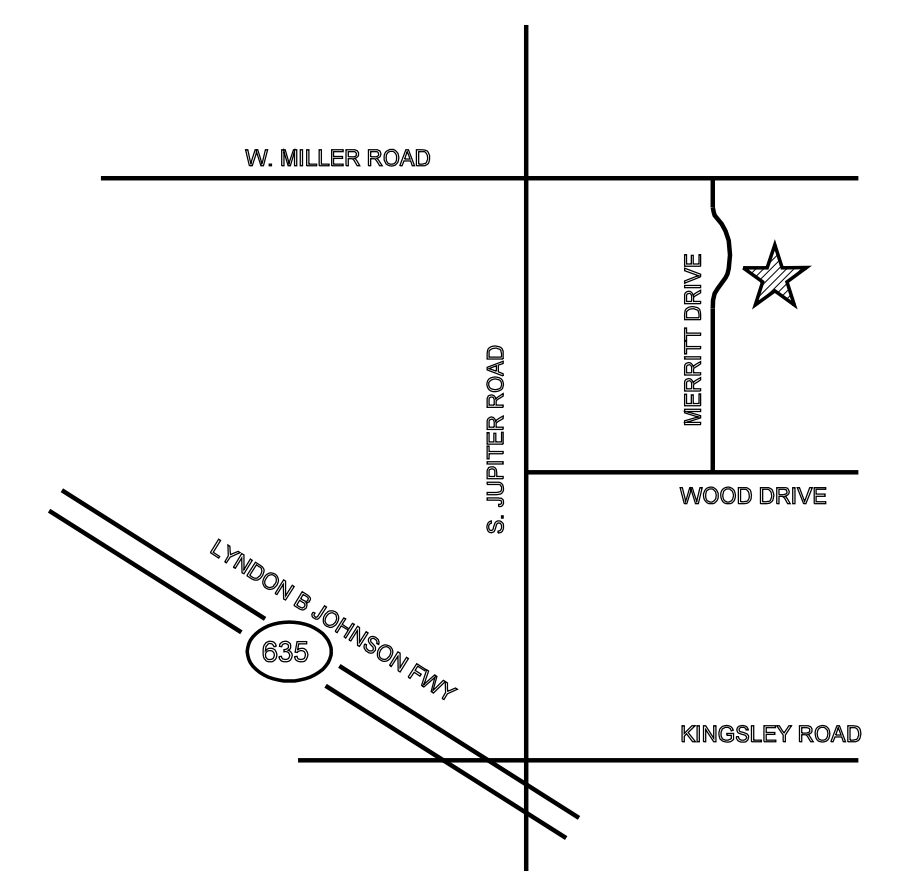
PROJECT NO. 0820
 DATE 10/20/08
A2.0

1 DEMOLITION PLAN
 SCALE: 1/8"=1'-0"

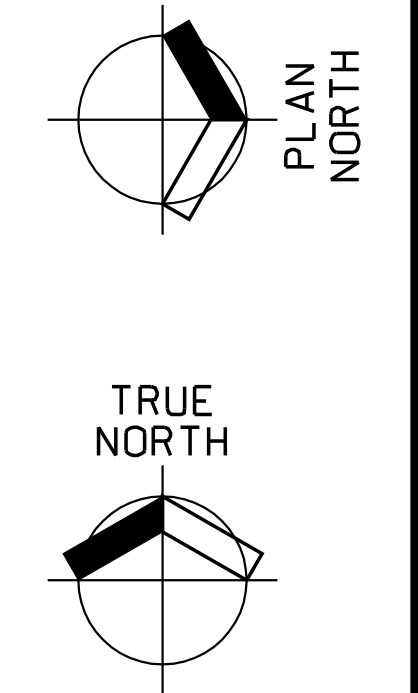
BUILDING CODE ANALYSIS

PROJECT DESCRIPTION	INTERIOR DEMO AND FINISH OUT IN AN UN-SPRINKLERED SINGLE STORY OFFICE/WAREHOUSE BUILDING.	
JURISDICTION	CITY OF GARLAND, TEXAS	
BUILDING CODE	2009 INTERNATIONAL BUILDING CODE	
STRUCTURAL CODE	2009 INTERNATIONAL BUILDING CODE	
PLUMBING CODE	2009 INTERNATIONAL PLUMBING CODE	
MECHANICAL CODE	2009 INTERNATIONAL MECHANICAL CODE	
ELECTRICAL CODE	2005 NATIONAL ELECTRICAL CODE	
FIRE/LIFE SAFETY	2009 INTERNATIONAL FIRE CODE	
ACCESSIBILITY	TAS	
BUILDING AREA ANALYSIS		
GROUP B1	2,814 USF	29 OCCUPANTS
GROUP S	21,010 USF	42 OCCUPANTS
TOTALS	23,824 TOTAL USF	71 OCCUPANTS
NUMBER OF BAYS	3	
THIS BUILDING IS	NOT SPRINKLERED	

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AREA MAP



\$FILES\$ \$DATES\$ \$TIMES\$

3 NOT USED

2 NOT USED