



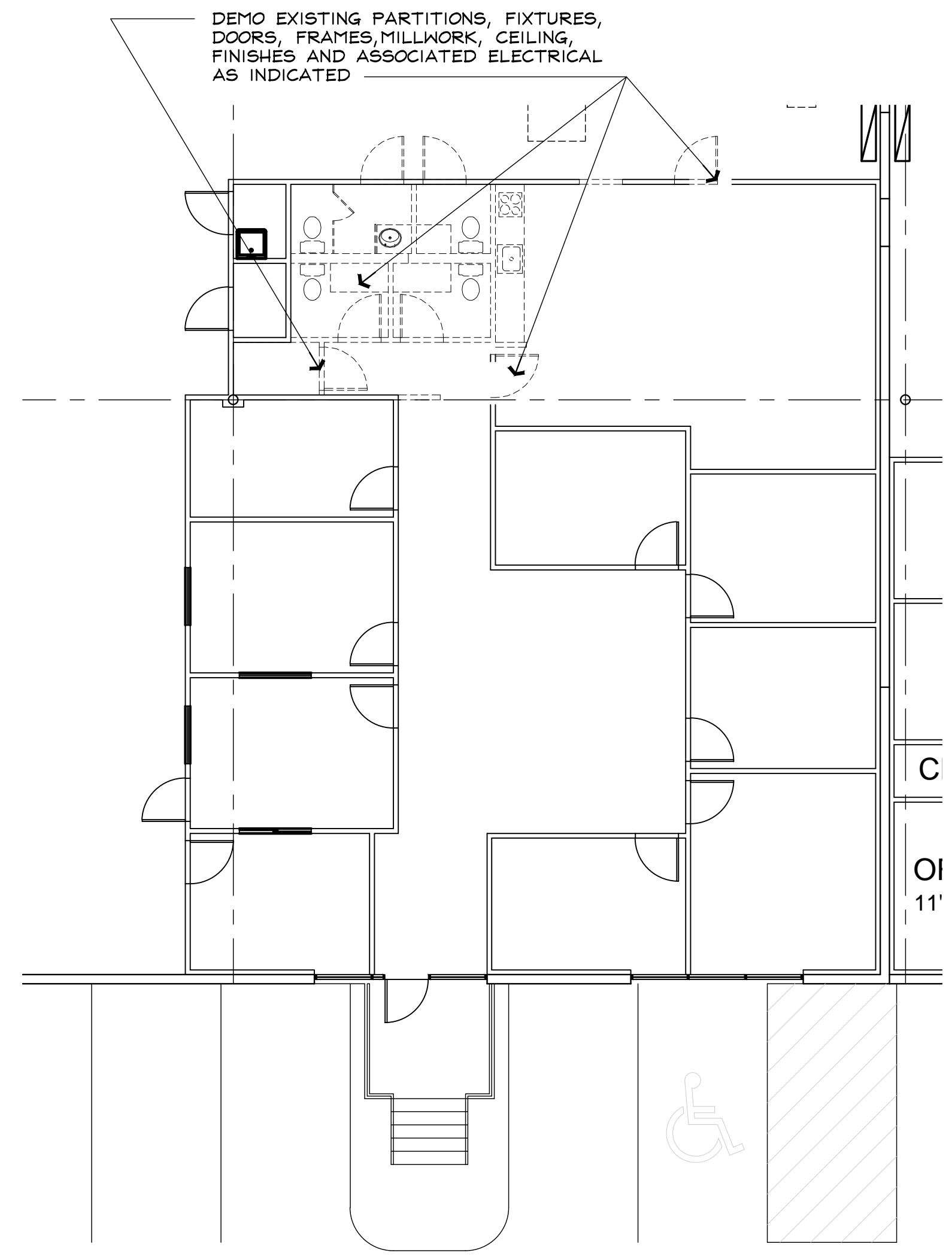
GENERAL NOTES

- ALL WORK SHALL COMPLY WITH PROLOGIS "PROJECT MANUAL OF STANDARD SPECIFICATIONS FOR TENANT IMPROVEMENT CONSTRUCTION", DATED JULY 1995-UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS (DRAWINGS SHALL TAKE PRECEDENCE OVER STANDARD SPECIFICATION). ALL WORK SHALL COMPLY WITH APPLICABLE CODES, LAWS, AND REGULATIONS, INCLUDING BUT NOT LIMITED TO, BUILDING CODES, AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
- THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201, AS AMENDED BY PROLOGIS, ARE PART OF THIS CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED BUILDING, CONSTRUCTION, AND INSPECTION PERMITS AND FEES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VISIT THE SITE AND FIELD VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT/OWNER OF ANY DISCREPANCIES FOUND BETWEEN THESE CONSTRUCTION DRAWINGS AND THE EXISTING CONDITIONS PRIOR TO FINAL BID SUBMITTAL.
- THIS SPACE HAS NOT BEEN DIMENSIONALLY FIELD VERIFIED AND REFERENCED DRAWINGS ARE FROM PREVIOUS SOURCES. THE ARCHITECT IS NOT RESPONSIBLE FOR VERIFICATION OF ANY DRAWINGS OR DIMENSIONS SUBMITTED BY OTHERS (IE: FURNITURE DEALERS, DISTRIBUTORS, ETC.).
- ALL WORK SHALL BE LIMITED TO THAT SHOWN ON THE CONSTRUCTION DRAWINGS. NO ADDITIONAL WORK SHALL BE DONE WITHOUT THE PRIOR WRITTEN APPROVAL FROM THE ARCHITECT/OWNER.
- CONTRACTOR SHALL PROTECT AT ALL TIMES THE PROPERTY OF THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO WINDOWS, FLOORS, CEILINGS, WALLS, RESTROOMS, CORRIDORS, DOORS, FRAMES, MECHANICAL, AND ELECTRICAL EQUIPMENT.
- ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- PARTITIONS MEETING EXTERIOR MULLIONS SHALL BE CENTERED ON MULLION. FASTENERS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW. ALL CONNECTIONS SHALL BE SEALED ACOUSTICALLY. REF. T.I. SPECIFICATIONS.
- ALL CONCEALED WOOD BLOCKING AND/OR BRACING REQUIRED SHALL BE FIRE RETARDANT TREATED LUMBER.
- TAPE, BED, TEXTURE, AND PAINT ALL NEW AND PAINT ALL INTERIOR OFFICE PARTITIONS, EXCEPT AT RESTROOMS, WITH 2 COATS EGGSHELL ENAMEL WALL PAINT. TEXTURE TO BE MEDIUM SAND FINISH. RESTROOM WALLS TO BE PAINTED WITH ENAMEL UNDERCOAT AND SATIN ENAMEL FINISH COAT. PROVIDE FRP TO 4'-0" A.F.F. ON ALL WET WALLS AND SIDE WALLS BEHIND OR ADJACENT TO TOILETS, URINALS, AND MOP SINKS (AND WALL MOUNTED LAVATORIES) IN RESTROOMS AND JANITOR'S CLOSETS. DO NOT INSTALL FRP BEHIND VANITY COUNTERS. TAPE, BED, SAND AND PAINT (ONLY) WAREHOUSE SIDE OF WALL SEPARATING OFFICE FROM WAREHOUSE.
- ALL GYPSUM BOARD TO BE U.L. APPROVED/FIRE RESISTIVE.
- PROVIDE 4" RUBBER COVE BASE AT ALL PARTITIONS IN OFFICE AREA. PROVIDE 1" X 6" PAINTED WOOD BASE AT FINISHED DRYWALL PARTITIONS IN WAREHOUSE.
- PROVIDE NEW CARPET AND 4" HIGH RUBBER BASE THROUGHOUT EXISTING OFFICE. REPLACE DAMAGED VCT AND CLEAN EXISTING SCHEDULED TO REMAIN.
- ALL NEW TOILET FIXTURES TO BE FLUSH VALVE TYPE. WATER CLOSETS TO BE FLOOR MOUNTED. PROVIDE ACCESSIBLE FIXTURES AND ACCESSORIES AND INSTALL AT REQUIRED MOUNTING HEIGHTS AS REQUIRED FOR COMPLIANCE. PROVIDE WOOD BLOCKING WITHIN PARTITION CAVITY AS REQUIRED FOR ACCESSORIES.
- REPLACE ALL DAMAGED AND STAINED EXISTING CEILING TILE. PROVIDE NEW 2' X 4' SUSPENDED ACOUSTICAL CEILING TILE (ARMSTRONG 795-B, NO SUBSTITUTIONS) W/ R-19 BATT INSULATION ABOVE AS REQUIRED. CEILING TO BE AT 9'-0" A.F.F. UNLESS NOTED OTHERWISE. MATCH EXISTING TILE AND HEIGHT AT ALL TIE-IN CONDITIONS.
- PROVIDE BUILDING STANDARD HORIZONTAL MINI BLINDS AT ALL EXTERIOR WINDOWS (U.N.O.).
- VERIFY THAT ALL EXISTING HVAC UNITS ARE IN GOOD WORKING ORDER AND PROVIDE ROOF-TOP HVAC UNITS AS REQUIRED WITH CAPACITY OF ONE TON A/C PER 300 SQUARE FEET AT OFFICE AREAS.
- VERIFY THAT ALL EXISTING PLUMBING SCHEDULED TO REMAIN IS IN GOOD WORKING ORDER. PROVIDE WATER HEATER W/PAN AS REQUIRED TO SERVE FIXTURES. VERIFY LOCATION W/ OWNER/ARCHITECT PRIOR TO INSTALLATION.
- VERIFY EXISTING ELECTRICAL SERVICE CAPACITY AND NOTIFY OWNER OF AVAILABILITY ON BID. VERIFY THE LOCATION OF ALL NEW ELECTRICAL EQUIPMENT/PANELS WITH OWNER/ARCHITECT PRIOR TO INSTALLATION.
- VERIFY THAT ALL EXISTING OFFICE LIGHTING IS IN GOOD WORKING ORDER AND PROVIDE 2'x4' LAY-IN FLUORESCENT LIGHT FIXTURES (3-LAMP/PRISMATIC LENS) AS REQUIRED IN OFFICE AREA AT RATIO OF 1 FIXTURE PER 75 SQUARE FEET (LIGHT FIXTURES AND SWITCHING TO BE ENERGY CODE COMPLIANT).
- NOT USED
- PROVIDE EXIT LIGHTING AND BATTERY POWERED EMERGENCY LIGHTING AT REQUIRED EGRESS DOORS PER CODE.
- CONTRACTOR TO RUN 1" CONDUIT WITH PULL-STRING FROM SERVICE ENTRANCE OF BUILDING TO TELEPHONE BOARD OF THIS SPACE. IF SPACE IS BEING REMODELED, VERIFY THAT CONDUIT EXIST. IF NOT, PROVIDE CONDUIT.
- DROP FIRE SPRINKLER HEADS (SEMI-RECESSED U.N.O.) AS REQUIRED TO ACCOMMODATE INTERIOR LAYOUT AT OFFICE.
- TENANT TO PROVIDE FIRE EXTINGUISHERS (20lb-ABC TYPE) AT RATIO OF 1 PER 3,000 SQUARE FEET.
- IF NOT PROVIDED IN SHELL BUILDING CONSTRUCTION, PROVIDE KNOX BOX AT ENTRANCE TO SPACE OR WHERE INDICATED ON DRAWING. FINISH TO MATCH STOREFRONT.
- VERIFY SLAB MOISTURE CONTENT AND SLAB ALKALINITY CONTENT PER MANUFACTURERS RECOMMENDATIONS AT ANY AND ALL FLOOR AREAS. PROVIDE TEST RESULTS FOR SLAB MOISTURE AND SLAB ALKALINITY IN PROJECT CLOSE-OUT MANUAL.
- PROVIDE 3'x7' S.C. PRE-FINISHED WOOD DOORS AND PRE-FINISHED KNOCK DOWN FRAMES W/ PUSH/PULL AT MULTI-FIXTURE RESTROOMS AND PRIVACY SETS AT SINGLE FIXTURE RESTROOMS. VERIFY THAT ALL EXISTING HARDWARE TO REMAIN IS IN GOOD WORKING ORDER

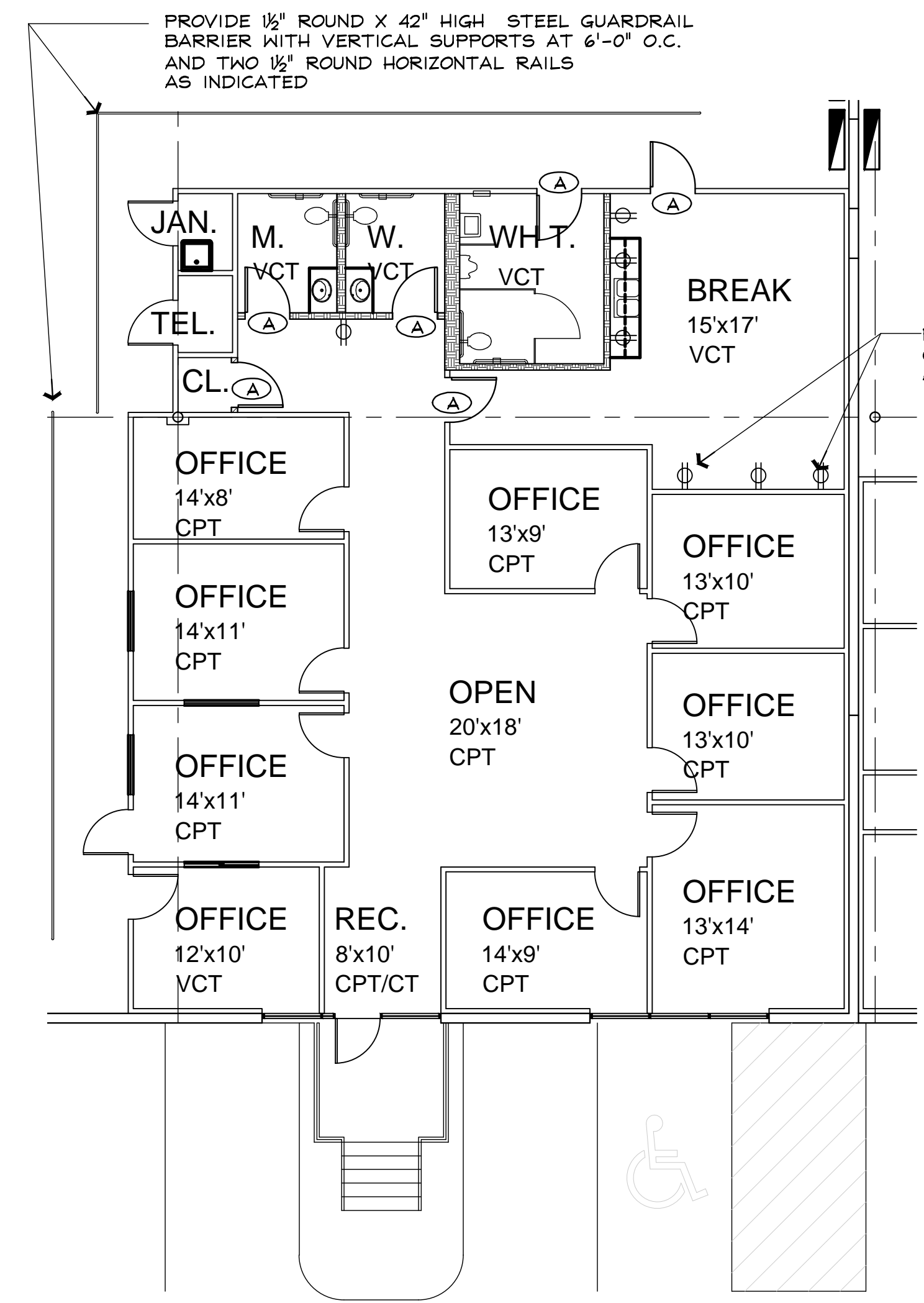
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LEGEND

	TYPICAL NEW INTERIOR PARTITION 3 #1 METAL STUDS @ 24" O.C. TO BOTTOM OF CEILING W/ #1 GYP. BD. BOTH SIDES (U.N.O.).
	TYPICAL ACOUSTICAL PARTITION 3 #1 METAL STUDS @ 24" O.C. TO 6" ABOVE CEILING W/ #1 GYP. BD. BOTH SIDES W/ SOUND INSULATION. PROVIDE ADEQUATE PLUMBING CHASE TO ACCOMMODATE FIXTURES
* ALL GYP. BD. TO BE UL CLASS/FIRE RESISTIVE.	



01 OFFICE DEMO PLAN
1/8" = 1'-0"



02 OFFICE FLOOR PLAN
1/8" = 1'-0"

AMERIMAX IMPROVEMENTS
GSW DISTRIBUTION CENTER #43
1025 AVENUE S SUITE 100
GRAND PRAIRIE, TEXAS

This drawing has been reviewed and approved by Landlord and Customer as indicated by signatures below. All changes made by customer after date of signature are at Customer's expense.

Landlord	Date
Customer	Date
PROJECT NO. XX-XXX	
SHEET TITLE	
DRAWN BY:	CHECKED BY:



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